

Property Consultants



Crosthwaite
COMMERCIAL

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Hawk Works, 105A Mary Street, Sheffield S1 4RT

To Let

499 Glossop Road, Broomhill, Sheffield S10 2QE



- Prominent Suburban Unit
- Excellent Location in Thriving District Centre
- 100% Business Rates Relief, Subject to Status
- 1,393 sq ft on Ground Floor + Cellar
- Quoting £20,000 Per Annum
- To Let on a New Lease

www.crosthwaitecommercial.com

LOCATION

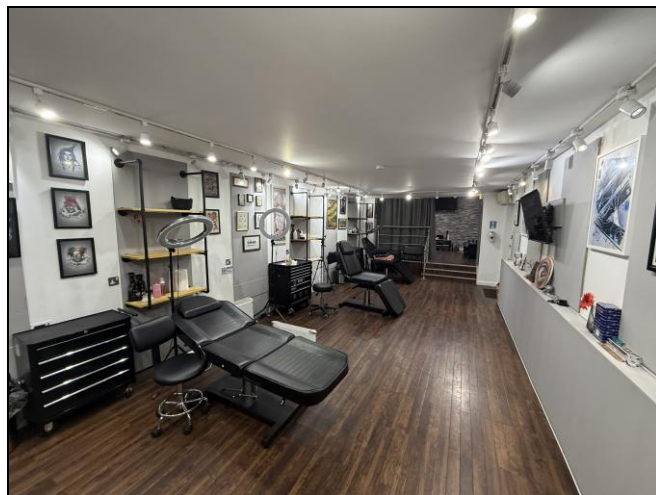
The property is prominently located fronting Glossop Road, in the Broomhill district shopping centre. Nearby retail comprises a mix of independent boutiques and national multiples including Tesco, Costa Coffee, Boots Pharmacy and Morrisons.

DESCRIPTION

The unit comprises a self-contained ground floor retail unit. To the front there is a small retail area/reception leading onto large open plan split level area which is currently utilised as a studio space. There is a WC, Kitchenette and storage incorporated within this. At the rear of the property there is a large store with a separate rear access from a set of double garage doors. On the side of the property there is also a separate pedestrian access.

ACCOMMODATION (Approx net internal areas)

Front Retail	180 sq ft	16.8 sq m
Rear Studio	982 sq ft	91.3 sq m
Rear stores	231 sq ft	21.5 sq m
Ground Floor Total	1,393 sq ft	129.6 sq m
Cellar	251 sq ft	23.3 sq m



RATING

The rating assessment is: -

Shop & Premises R.V. £8,500

Subject to status, 100% small business rates relief may apply resulting in a nil charge.

ENERGY PERFORMANCE CERTIFICATE

The premises has a rating of 30 – B. A full EPC is available on request.

RENT

£20,000 per annum exclusive. VAT is not payable on the rent.

LEASE

The premises are available on a new lease for a term to be agreed, subject to periodic rent reviews.

USE

The premises benefit from an E class planning consent. This allows the premises to be used for the former A1 (retail), A2 (financial and professional), A3 (restaurant), B1 (Offices/Light industrial use), and D1 (clinics, health centre and day nursery) uses, without the need for a change of use. Other uses may be considered subject to planning.

LEGAL COSTS

Each party are to be responsible for the payment of their own legal costs in connection with this transaction.

VIEWING ARRANGEMENTS

Viewing arrangements, and any further information, can be obtained from the sole agent detailed below.

Mark Holmes - Crosthwaite Commercial

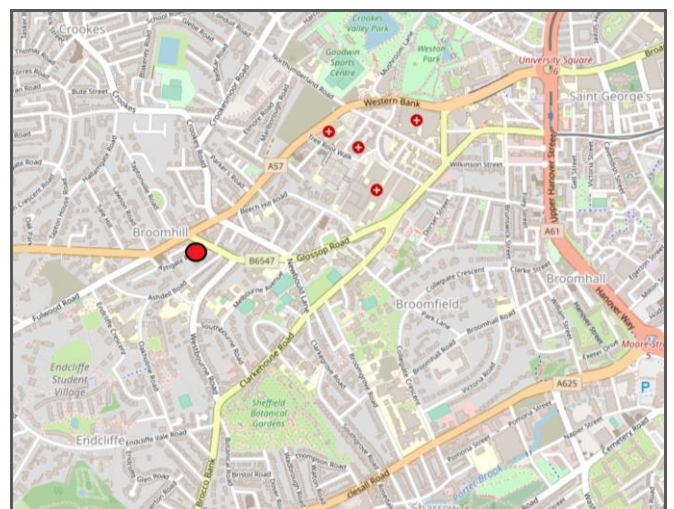
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SUBJECT TO CONTRACT AND AVAILABILITY February 2025